



ADDENDUM NUMBER FIVE

April 15, 2020

**DEVELOPER FOR B.W. COOPER - PHASE II
RFQ #20-911-11**

THE FOLLOWING ADDENDUM IS BEING ISSUED TO INCORPORATE IN THE REFERENCED REQUEST FOR QUALIFICATIONS

ITEM #1 INSERT ATTACHED SITE PLANS (AS REFERENCED IN ADDENDUM NUMBER FOUR ISSUED ON 4/14/2020)

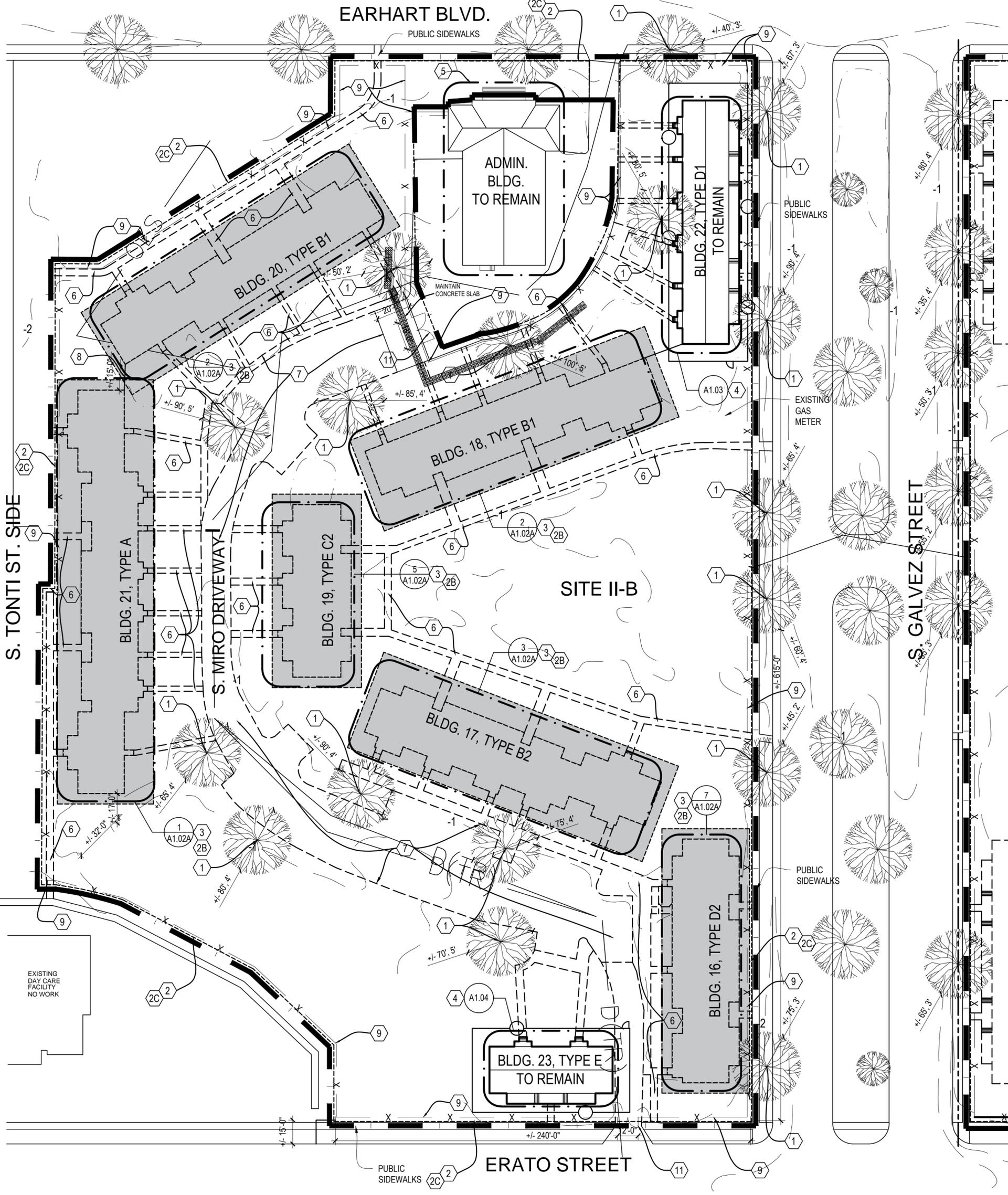
INSERT: See attached Site plans

Proposals must be received by the Housing Authority of New Orleans (HANO) in the Office of Procurement and Contracts by 2:00 p.m., CST on Thursday, May 21, 2020. All terms and conditions shall remain as stated in the original Request for Qualifications. All addenda must be acknowledged.

END OF ADDENDUM NUMBER FIVE

EARHART BLVD.

PUBLIC SIDEWALKS



S. TONTI ST. SIDE

S. MIRO DRIVEWAY

S. GALVEZ STREET

ERATO STREET

SITE II-B

BLDG. 21, TYPE A

BLDG. 19, TYPE C2

BLDG. 18, TYPE B1

BLDG. 17, TYPE B2

BLDG. 16, TYPE D2

BLDG. 23, TYPE E
TO REMAIN

ADMIN.
BLDG.
TO REMAIN

BLDG. 22, TYPE D1
TO REMAIN

BLDG. 20, TYPE B1

MAINTAIN
CONCRETE SLAB

PUBLIC SIDEWALKS

EXISTING
GAS
METER

PUBLIC
SIDEWALKS

PUBLIC
SIDEWALKS

1 DEMO SITE PLAN - SITE II-B
A1.01B SCALE: 1" = 40'



LEGEND:
NOT ALL ITEMS WILL BE USED ON EACH SHEET

EXISTING CHAIN LINK FENCING	— X — X — X —
NEW ALUMINUM PICKET FENCING	— ○ — ○ — ○ — ○ —
ITEM TO BE REMOVED	- - - - -

SITE II-A
AREA FOR SOIL REMEDIATIONS ONTO ADJACENT SITE TO BE INCLUDED IN BASE BID.
SEE **2** & **2A**

SITE II-B
AREA FOR SOIL REMEDIATIONS AND WITNESS BARRIER TO BE INCLUDED IN BASE BID. (APPROXIMATELY 6' ± FROM BUILDING SLAB FACES)
SEE **2**, **2A**, **2B** & **2C**

- NOTES:**
- SEE SHEET A1.02A FOR ADDITIONAL INFORMATION ON BLDG. SLAB TYPES.
 - GENERAL PROJECT NOTES ON SHEET A1.00 APPLY TO WORK ON THIS SHEET.



**B.W. COOPER PHASE II
PREPARATION OF FOUNDATION
DEMOLITION & SOIL REMEDIATION**
3400 EARHART BOULEVARD
NEW ORLEANS, LA 70125

DATE: 15 NOVEMBER 2017
REVISED:
REVISED:
REVISED:
REVISED:
DRAWN BY: MTZ
CHECKED BY: DGR
PHASE:

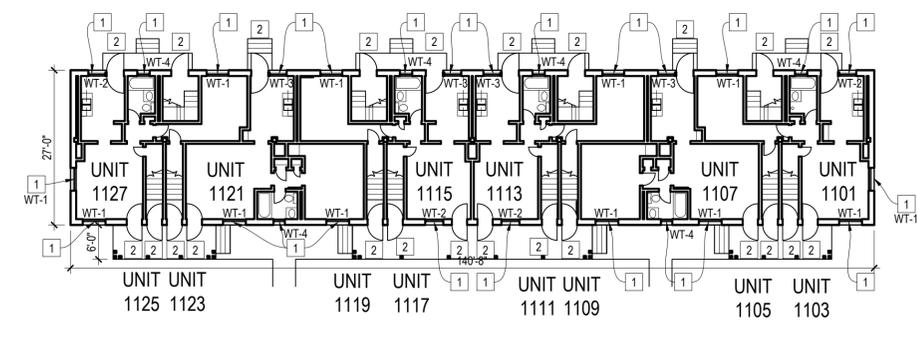
CONSTRUCTION DOCUMENTS

17055

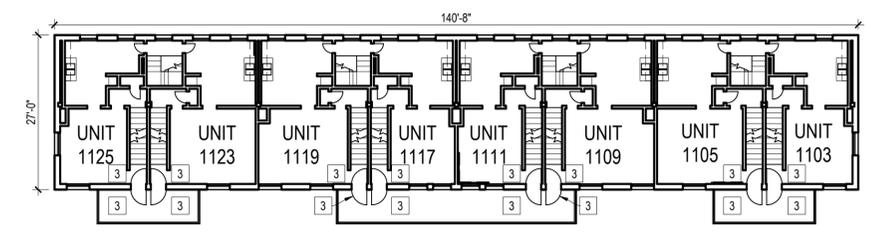
TITLE:
BUILDING 22 FLOOR PLANS & ELEVATIONS

SHEET:

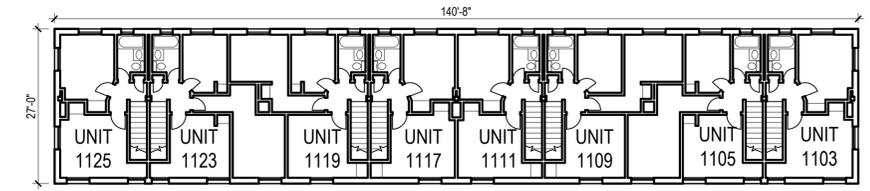
A1.03



1 BLDG. 22 - 1ST FLOOR PLAN
SCALE: 1/16" = 1'-0"

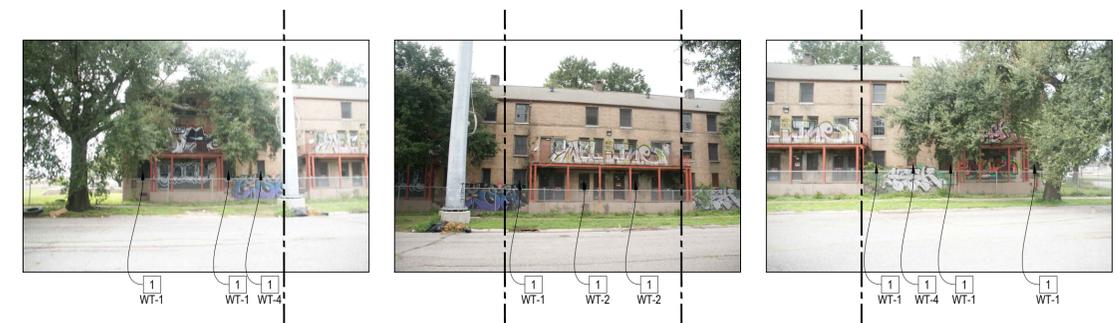


2 BLDG. 22 - 2ND FLOOR PLAN
SCALE: 1/16" = 1'-0"



3 BLDG. 22 - 3RD FLOOR PLAN
SCALE: 1/16" = 1'-0"

4 BLDG. 22 - EXTERIOR ELEVATION EAST
SCALE: NTS



5 BLDG. 22 - EXTERIOR ELEVATIONS WEST
SCALE: NTS



8 BLDG. 22 - EXTERIOR ELEVATION SOUTH
SCALE: NTS



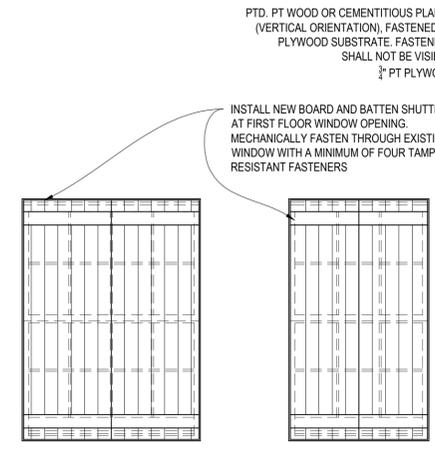
7 BLDG. 22 - EXTERIOR ELEVATION NORTH
SCALE: NTS



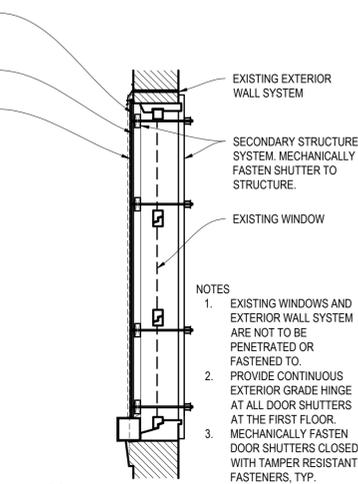
6 BLDG. 22 - EXTERIOR ELEVATION WEST PARTIAL
SCALE: NTS



9 SHUTTER ELEVATIONS - TYPICAL
SCALE: NTS



10 SHUTTER SECTION - TYPICAL
SCALE: NTS



SHEET NOTES:
BUILDINGS 22 AND 23 ONLY.

- INSTALL NEW SHUTTERS AT FIRST FLOOR WINDOW OPENINGS ONLY. MECHANICALLY FASTEN THROUGH EXISTING WINDOW WITH A MINIMUM OF FOUR TAMPER RESISTANT FASTENERS
- REMOVE EXTERIOR SCREENED DOORS AT FIRST FLOOR. INSTALL NEW HINGED SHUTTER ON FIRST FLOOR DOORS. MECHANICALLY FASTEN SHUTTER WITH A MINIMUM OF FOUR TAMPER RESISTANT FASTENERS.
- CLOSE EXTERIOR DOORS (INSIDE AND OUTSIDE LEAVES), MECHANICALLY FASTEN EACH LEAVE WITH A MINIMUM OF FOUR TAMPER RESISTANT FASTENERS.
- REPLACE BROKEN PANES OF GLASS IN SECOND AND THIRD FLOOR WINDOWS. ASSUME EXISTING GLASS IS 1/4 INCH THICK LAMINATED GLASS AND REPLACE WITH SAME. INCLUDE 24 (8 X 10) IN BASE BID. FIELD VERIFY LOCATIONS AT UNIT PRICE. UNIT PRICE 17. PROVIDE A UNIT PRICE PER GLASS UNIT 8'x10'x1/4" THICK FOR REMOVING AND REPLACING ADDITIONAL PANES OF GLASS BROKEN BY OTHER THAN CONSTRUCTION OPERATIONS THROUGH SUBSTANTIAL COMPLETION.

GENERAL NOTES:
BUILDINGS 22 AND 23 ONLY.

- ALL WORK SHOWN ON THIS SHEET IS FOR "ADD ALTERNATE NO. 2: BUILDINGS 22 AND 23 - MAINTENANCE AGREEMENT WORK" SCOPE OF WORK.
- PHOTOGRAPHS OF ELEVATIONS ARE INCLUDED ON SHEETS A1.03 AND A1.04. THE PHOTOGRAPHS ARE TO BE USED IN CONJUNCTION WITH THE BUILDING FLOOR PLANS, ETC. TO ASSIST IN IDENTIFYING OPENING TYPES AND SIZES THAT WILL BE ENCOUNTERED. CONTRACTOR SHALL VISIT THE SITE PRIOR TO BIDDING TO BECOME ACQUAINTED WITH EXISTING CONDITIONS AND TO ASSURE AN UNDERSTANDING OF THE PROJECT SCOPE-OF-WORK.
- EXISTING VPS PANELS ON BUILDING 23 TO BE REMOVED AND RETAINED BY HANO. CONTRACTOR SHALL NOTIFY HANO 10 DAYS PRIOR TO REQUIRING THE REMOVAL OF VPS PANELS.
- "NO TRESPASSING" SIGNAGE SHALL BE POSTED ON ALL FIRST FLOOR EXTERIOR DOORS.
- SEE ELECTRICAL DRAWINGS FOR REQUIRED ELECTRICAL WORK.
- GENERAL PROJECT NOTES ON SHEET A1.00 APPLY TO WORK ON THIS SHEET.

LEGEND:

--- MATCHLINE

WINDOW ELEVATION DIMENSIONS (APPROXIMATE - GC TO FIELD VERIFY)

WT-1 = 3'-10"W X 5'-7"H
WT-2 = 3'-0"W X 5'-7"H
WT-3 = 3'-0"W X 4'-10"H
WT-4 = 2'-4"W X 4'-6"H

DOOR ELEVATION DIMENSIONS APPROXIMATE - GC TO FIELD VERIFY)
NOTE: UNLESS NOTED OTHERWISE, ALL DOORS ARE TYPE DT-1
DT-1 = 3'-4"W X 7'-2"H

PTD. PT WOOD OR CEMENTITIOUS PLANKS (VERTICAL ORIENTATION), FASTENED TO PLYWOOD SUBSTRATE. FASTENERS SHALL NOT BE VISIBLE.
3/8" PT PLYWOOD

EXISTING EXTERIOR WALL SYSTEM
SECONDARY STRUCTURE SYSTEM. MECHANICALLY FASTEN SHUTTER TO STRUCTURE.
EXISTING WINDOW

NOTES
1. EXISTING WINDOWS AND EXTERIOR WALL SYSTEM ARE NOT TO BE PENETRATED OR FASTENED TO.
2. PROVIDE CONTINUOUS EXTERIOR GRADE HINGE AT ALL DOOR SHUTTERS AT THE FIRST FLOOR.
3. MECHANICALLY FASTEN DOOR SHUTTERS CLOSED WITH TAMPER RESISTANT FASTENERS, TYP.

INSTALL NEW BOARD AND BATTEN SHUTTERS AT FIRST FLOOR WINDOW OPENING. MECHANICALLY FASTEN THROUGH EXISTING WINDOW WITH A MINIMUM OF FOUR TAMPER RESISTANT FASTENERS



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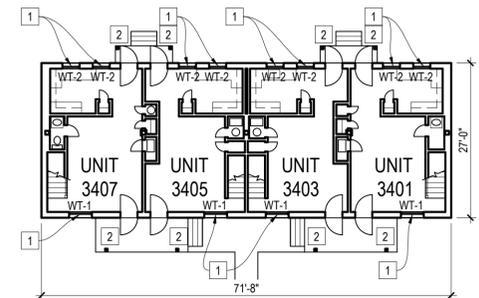
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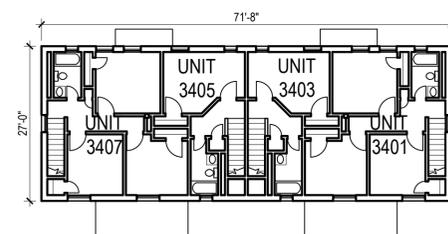
**BUILDING 23 FLOOR
PLANS & ELEVATIONS**

SHEET:

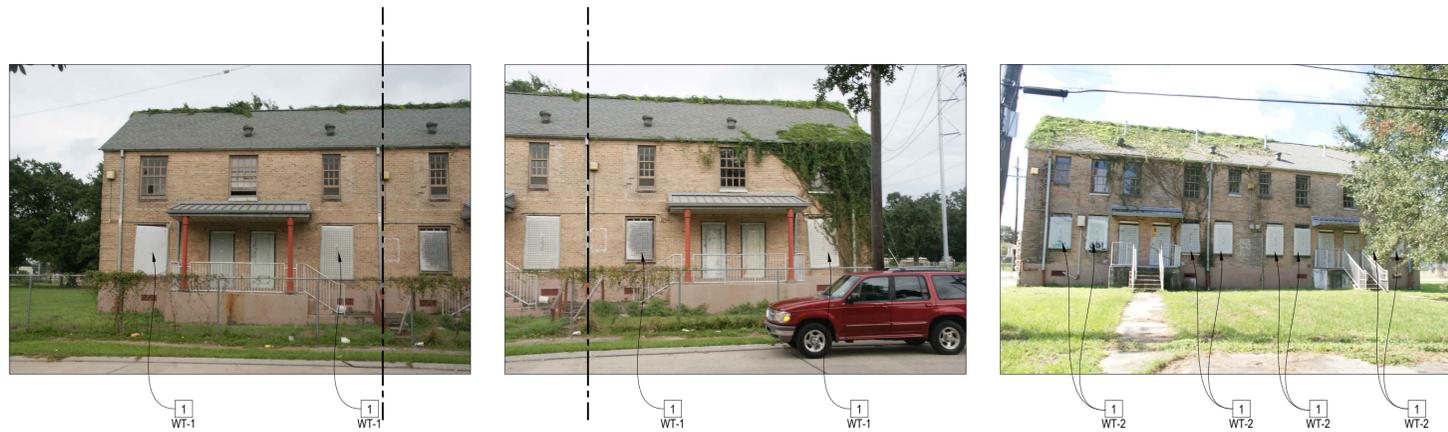
A1.04



1 BLDG. 23 - 1ST FLOOR PLAN
A1.05 SCALE: 1/16" = 1'-0"



2 BLDG. 23 - 2ND FLOOR PLAN
A1.05 SCALE: 1/16" = 1'-0"



4 BLDG. 22 - EXTERIOR ELEVATIONS SOUTH
A1.03 SCALE: NTS

3 BLDG. 23 - EXTERIOR ELEVATION NORTH
A1.03 SCALE: NTS

SHEET NOTES:

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- 2** REMOVE EXTERIOR SCREENED DOORS AT FIRST FLOOR. INSTALL NEW HINGED SHUTTER ON FIRST FLOOR DOORS. MECHANICALLY FASTEN SHUTTER WITH A MINIMUM OF FOUR TAMPER RESISTANT FASTENERS.
- 3** CLOSE EXTERIOR DOORS (INSIDE AND OUTSIDE LEAVES). MECHANICALLY FASTEN EACH LEAVE WITH A MINIMUM OF FOUR TAMPER RESISTANT FASTENERS.
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